

Case Number	21/02770/FUL (Formerly PP-09945486)
Application Type	Full Planning Application
Proposal	Alterations to dwellinghouse including raising the roof to form an additional level of habitable accommodation, single storey side extension and new stepped access (amended description)
Location	15 High View Sheffield S5 8YE
Date Received	16/06/2021
Team	West and North
Applicant/Agent	Wright Building Design Ltd
Recommendation	Grant Conditionally

Time limit for Commencement of Development

1. The development shall be begun not later than the expiration of three years from the date of this decision.

Reason: In order to comply with the requirements of the Town and Country Planning Act.

Approved/Refused Plan(s)

2. The development must be carried out in complete accordance with the following approved documents published on 1 October 2021:

- drawing 020909-WBD-01-ZZ-DR-A-0003-P04 (site plan and floor plan)
- drawing 020909-WBD-01-ZZ-DR-A-0004-P04 (proposed elevations)
- drawing 020909-WBD-01-ZZ-DR-A-0005-P02 (streetscene view)

Reason: In order to define the permission.

Pre Commencement Condition(s) – ('true conditions precedent' – see notes for definition)

Other Pre-Commencement, Pre-Occupancy and other Stage of Development Condition(s)

3. The materials to be used externally shall match those of the existing building in colour, shape, size and texture.

Reason: In order to ensure an appropriate quality of development.

4. To ensure that surface water will be prevented from spilling onto the public highway, the driveway parking area shall be formed of porous (but not loose) material, or alternatively provision shall be made to direct run-off water from the hard surface to a permeable or porous area or surface within the curtilage of the dwellinghouse.

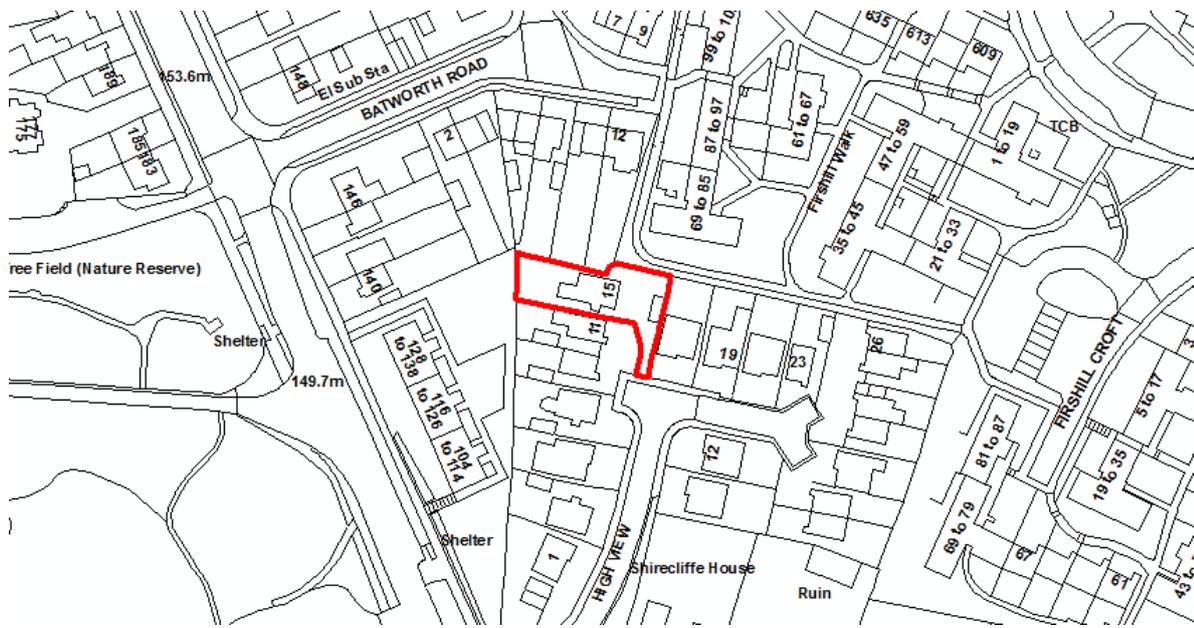
Reason: In the interests of highway safety and the amenities of the locality it is essential for these works to have been carried out before the use commences.

Other Compliance Conditions

Attention is Drawn to the Following Directives:

1. The Local Planning Authority has dealt with the planning application in a positive and proactive manner and sought solutions to problems where necessary in accordance with the requirements of the National Planning Policy Framework.
2. The applicant is reminded that the standard construction hours of working, which are 0730-1800 (Monday to Friday), 0800 to 1300 (Saturday) and no working on Sundays or Public Holidays.

Site Location



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DESCRIPTION OF SITE

The application site forms part of a small, modern residential development to the north of the city centre consisting of a mix of detached and semi-detached properties arranged around a cul-de-sac. Plots are reasonable in size.

The estate has a clear architectural theme, with the applicant's property, along with its immediate neighbours, constructed with a light coloured stone finish and contrasting red brick plinths, quoins and string detailing.

The applicant's property is a detached two storey dwellinghouse with a pitched roof, which benefits from a detached garage adjacent the eastern site boundary. The dwelling is set on higher ground in the north-western corner of the estate, where it occupies a reasonably prominent position.

The site is surrounded on all sides by housing, including detached and semi-detached dwellinghouses and two and three storey flats.

A site visit was conducted on Monday 16 August 2021.

DESCRIPTION OF PROPOSAL

The applicant is requesting planning permission for alterations to the dwellinghouse including raising the roof to form an additional level of habitable accommodation, a single storey side extension and a new stepped access.

The original scheme included a single storey residential annexe to the front of the property and along the site's northern site boundary. The applicant removed this part of the scheme due to the planning authority's concerns about over-development of the site. This report is based on the amended proposal.

There would also be some changes to the property's internal layout, but these alterations do not require planning permission.

The applicant has not provided any additional documentation in support of the application; however, the plans do indirectly refer to the development that would be allowed under Class AA permitted development, (which allows for an additional storey to be added to a residential property subject to neighbour consultation and the proposal satisfying a set of criteria).

RELEVANT PLANNING HISTORY

There is no relevant planning history.

REPRESENTATIONS

The planning authority has received 18 objections, though some commentators submitted more than one objection. The responses can be summarised as follows:

Material planning considerations:

The following objections are considered in the report:

- visual amenity (appearance, scale of proposal and overdevelopment).
- residential amenity (loss of privacy, overlooking and shadowing).
- parking pressures.
- impacts of water run-off.

Non-material planning considerations:

Lack of consultation:

The planning authority notified the occupiers of properties adjoining the development in accordance with the Town and Country Planning (Development Management Procedure) (England) Order 2015 and the Council's Code of Practice for Publicity and Consultation on all Planning Applications. There is no legal requirement to notify householders that are further away, although the planning authority will still consider comments from them.

Disturbance from construction works:

The temporary inconveniences of the construction period are not a reason to refuse planning permission. It is generally not the role of the planning system to deal with matters covered by separate legislation. Circumstances in which builders' works may be a nuisance are covered by the Control of Pollutions Act and the Council's Environmental Protection Service can investigate on a neighbour's behalf if the construction work amounts to a statutory nuisance.

A directive can be attached to remind the applicant of the standard construction hours of working, which are 0730-1800 (Monday to Friday), 0800 to 1300 (Saturday) and no working on Sundays or Public Holidays.

The property could be used as a house in multiple occupation (HMO):
This is a speculative comment and does not form part of the proposal under consideration.

Unfinished building work on another property and the state of the applicant's property:

These issues are not relevant to the application.

Access to the driveway:
This is a civil matter between the applicant and their neighbours.

The annexe:
The annexe is no longer part of the application.

PLANNING ASSESSMENT

Policy context

Paragraph 130 of the National Planning Policy Framework, 2021 states that developments need to contribute towards creating visually attractive, distinctive places to live, work and visit, whilst also being sympathetic to local character. Innovation should not be prevented but developments should add to the quality of an area whilst providing a high standard of amenity for existing and future users. This assessment will have regard to this overarching principle.

The site is identified on the Unitary Development Plan Proposals Map as being within a Housing Area. The assessment takes account of policies BE5 and H14 from the Sheffield Unitary Development Plan (UDP). The Supplementary Planning Guidance (SPG) on Designing House Extensions is also relevant. Attention is given to the provisions of policy CS74 from the Core Strategy regarding design.

in accordance with the NPPF and can be offered substantial weight.

The principle of the development

The Government introduced Class AA permitted development in August 2020, which allows the enlargement of a dwellinghouse by construction of additional storeys subject to a range of criteria, including its impact on the external appearance of the dwellinghouse. The current application does not qualify as Class AA permitted development, but the Class AA allowance is a material consideration.

Design

Guidelines 1 to 3 of the Supplementary Planning Guidance on Designing House Extensions state that development must be compatible with the character and built form of the area; development should not detract from the host dwelling or from the general appearance of the street or locality; and extensions should be built of matching materials and features.

The additional floor's design, fenestration and external materials would match that of the existing dwelling. The new roof would also resemble the existing roof in terms of appearance, form and pitch.

The property's height would increase as a result of the development and, together with the dwelling's position in the corner of the estate and its siting on higher ground, it means that the extension would result in a more visually prominent structure in the streetscene. However, it is considered that its impact would be softened by the sympathetic design, the varied context (which includes taller properties) and the fact that the second floor will partly occupy the roofspace.

On balance it is considered that any harm to the streetscene as a result of the increase in height would be minor and would not be sufficient to justify a refusal on the grounds of visual amenity.

The proposed single storey side extension comprises a minor addition to an existing porch and does not raise any design concerns.

The proposal is considered to be in accordance with the policies set down above.

Impact on Neighbours

Guidelines 4 to 6 of the Supplementary Planning Guidance on Designing House Extensions state that development should not lead to an overdevelopment of house plots or leave little garden space; they should ensure that minimum levels of privacy are maintained; and not lead to unreasonable over-shadowing or overdominance of neighbouring dwellings.

As the annexe has been omitted from the proposal, the dwellinghouse would retain ample amenity space following construction of the additional floor and the amended scheme does not constitute an overdevelopment of the plot.

A degree of mutual overlooking already occurs from the existing first floor windows. The proposed second floor windows would provide some further opportunities for overlooking into the adjoining occupiers' land, but it is considered that a similar impact would occur from second floor windows being inserted in the front and rear elevations under permitted development. The extent to which the privacy of the occupiers of neighbouring properties is harmed by increased overlooking is not considered to be significant.

The extended property's shadow would track across the applicant's own rear garden and the rear sections of neighbouring gardens to the north, but it would not fall across any principal windows or result in any unreasonable overshadowing.

The proposed single storey side extension to the porch does not raise any amenity concerns. The modest alterations to the front of the property, including a new stepped access, would not impact the amenities of the occupiers of neighbour properties.

The extensions would not be readily visible from neighbouring occupiers' principal windows.

The proposal does not raise any amenity issues and complies with the relevant UDP policies and SPG guidance on Designing House Extensions.

Highway Impact

Guideline 8 of the Supplementary Planning Guidance states that developments should not adversely affect highway safety and should provide adequate parking arrangements.

This generally aligns with paragraph 111 of the NPPF which states that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

An extension to a single residential unit could create additional traffic, but not to the extent that it would overwhelm local roads. The proposed extension increases the existing dwellinghouse from four to six bedrooms, plus a study. The plot will retain at least three off-street parking spaces (including the garage) which is considered to be sufficient for a six-bedroom house.

The Council's highways officers have not raised any objections to the proposal, and it is considered that overall the development would not have a material adverse impact on highway safety.

Other Issues

Concerns about water run off are noted. No significant changes are being proposed to the driveway, however, to ensure that surface water will be prevented from spilling onto the public highway, a condition is proposed which requires the extended parking area to be formed of porous (but not loose) material, or provision made to direct run-off water from the hard surface to a permeable or porous area or surface within the site curtilage.

SUMMARY AND RECOMMENDATION:

The proposal would be in general accordance with the NPPF (2021), Core Strategy Policy CS74, Unitary Development Plan Policies H14 and BE5 as well as the Council's Supplementary Planning Guidance on Designing House Extensions. It is considered that any harm to the streetscene would be minor and would not be sufficient to justify a refusal on the grounds of visual amenity, taking into account the character of the area and the Class AA permitted development rights introduced by the Government in August 2020. It is therefore recommended that Members grant planning permission subject to the proposed conditions.

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